

CALHOUN COUNTY BUILDING AND PLANNING
MANUFACTURED HOME OWNER CHECKLIST

Permitting Procedure:

Site Approval/Plot Plan _____ Yes

Legal Proof of Ownership
Or Property Owner Consent _____ Yes

DHEC Soil Evaluation
Or Existing Septic Approval _____ Yes

Moving Permit (if required) _____ Yes

(This **does not** allow you to bring the home in and set it up.)

MH Licensed Installer _____ Yes

MH-Installation Permit _____ Yes

Unless special permission is received from the building official, the home is not to be placed on the lot until all of the above is completed. Placement of the home prior to permitting will result in an additional fee of \$100.00.

Set-up Inspection:

Drainage away from home
Organic matter removed
Anchor and spacing
Tongue removed if not welded
Plumbing

Final Inspection:

Panel/Meter Installation
Proper wire
Wire properly buried
Electrical Connections
Proper grounding
Landing and steps
Skirting
Registration Decal
E-911 Address
DHEC Final Approval

INSTALLING A MANUFACTURED HOME IN CALHOUN COUNTY

1. Get plat and plot plan approved in the Calhoun County Building Department.
2. Get E-911 address - Suite 112 Courthouse Annex. Get Tax Map Number and Mobile Home Moving Permit from Assessor's office - Suite 107 Courthouse Annex. (Place E-911 address on mailbox and/or home site)
3. Complete site approval/zoning permit and compliance application and schedule site inspection with the Building Department. (803-874-4201).
4. Take approved site approval application, plat, and/ or deed to the Health Department (803-874-2037) and fill out their form for a soil evaluation test (Fee \$150.00). When the installer copy of the septic tank is received, give a copy to the Building Department. If there is an existing septic system, get DHEC approval to use the system and give a copy of the Building Department
5. After site approval, moving permit, soil evaluation test, or existing septic system approval, a copy of license from licensed Manufactured Home installer received, an Installation Permit must be obtained (**\$250.00 single-wide or \$350.00 multi-section**) and the home can be moved to the property, **provided that the location of the home is free of debris and organic matter and graded to provide proper drainage (six) 6 inches fall (ten) 10 feet out.** (Dealer/Owner to provide installation manual). The owner has fifteen (15) days in which to register the mobile home.
6. The installer sets up the mobile home, hooks-up drain and waste lines, properly straps or supports them (every 4 ft) and calls the Building Department for a set up inspection. When requesting an inspection, please be ready to furnish the permit number and/or the name in which the permit was issued. Inspections do **NOT** have to be requested through the Building Official. (**Leave the skirting off for this inspection**).
7. Register the mobile home in the Assessor's office. See attachment from the Office of the Assessor: "REQUIREMENTS FOR MOBILE HOME REGISTRATION IN CALHOUN COUNTY"
8. Call the Building Department for a final inspection after completion of the following items:
 - a. A copy of septic tank approval to be given to the Building Department;
 - b. The tongue(s) of the home must be removed unless welded on;
 - c. All skirting, landings, steps and handrails have been installed; (See Attached)
 - d. All electrical work is completed in compliance with the 2005 NEC (any buried cable must remain uncovered until after final inspection, unless inspected at set up inspection);
 - e. E-911 identification numbers are in place;
 - f. Registration decal must be in place.

NOTE: The inspector will need to get inside the home for final inspection.

9. After it is determined that substantial compliance has been met, power authorization will be faxed to your power company. It is your responsibility to contact the power company for service.
10. If any inspection reveals that a correction is required, the inspector will leave a copy of the necessary correction/corrections at the job site. The corrections need to be performed and you must call for a re-inspection. You will receive one re-inspection free. Additional re-inspections are \$25.00 each. The Building Department does **NOT** have time to call the owner/applicant with the inspection results.

**Note: Your installation permit expires six (6) months after date of issue.
Licensed Manufactured Home Installer required.**

- A. The home must be properly installed per Manufacturer's Installation manual. In the event that the Manual is not provided, the home must be installed according to Section 19 – 425.39, Manufactured Home Minimum Installation, as promulgated by the South Carolina Manufactured Housing Board.

NOTE: If poured concrete is used for footings instead of two 4" x 8" x 16" solid concrete masonry units, a footing inspection is required before placing concrete.

- B. Skirting or a curtain wall, unpierced except for required ventilation (one square foot of ventilation per 150 square feet of crawl space, one such ventilation opening shall be within three (3) feet of each corner in each direction) and an access door not less than eighteen (18') inches in any dimension and not less than three (3) square feet must be installed. Such access door(s) or panel(s) shall be fastened in a manner that does not require the use of a special tool to remove or open same. Skirting or a curtain wall may consist of brick, masonry, vinyl, treated wood, corrosive resistant metal, or similar materials designed and manufactured for permanent outdoor installation.
- C. Each exterior door **MUST** have a landing or porch area with minimum measurements of thirty six (36) inches by thirty (36) inches. Such landing or porch must be constructed to comply with the minimum standards as set forth by the International Residential Code. If the landing is thirty (30) inches or more above the adjacent grade (vertical distance to the ground measured to the lowest distance six (6) feet out) a guardrail thirty (36) inches in height **MUST** be installed. The guardrail **MUST** have vertical pickets spaced to allow no more than a four (4) inch horizontal opening.

A stairway (steps), thirty six (36) inches minimum width **MUST** be installed to access the landing. Steps **shall not** have a rise of more than eight (8) inches or a tread width less than ten (10) inches. The greatest riser height within any flight of stairs (steps) shall not exceed the smallest by more than 3/8 inch. The greatest tread depth within any flight of stairs (steps) shall not exceed the smallest by more than 3/8 inch. Open risers are permitted, provided that the opening between treads does not permit the passage of a four (4) inch diameter sphere. **Exception** – The opening between adjacent treads is not limited on stairs with a total rise of thirty (30) inches or less.

Handrails **MUST** be provided on a stairway (steps) with four (4) or more risers. The handrails **MUST** be thirty four (34) inches to thirty eight (38) inches in height measured vertically from the tread. The handrail **MUST** have vertical pickets spaced to allow no more than a 4 3/8 inch horizontal

opening. Handrail ends SHALL terminate in newel posts or safety terminals. Handrails MUST be graspable. (See Attachment) If the landing/steps are not set in the ground, they must be secured with a ground anchor and straps so that the landing/steps cannot turn over or be pushed over. If masonry steps are used, the blocks or bricks must be mortared and provided with handrails as required.

NOTE:

Porches and decks which are enclosed with insect screens SHALL be provided with guardrails where the walking surface is located more than thirty (30) inches above the floor or grade below.

**** The future addition of a porch or deck must be permitted**

**** If there is anything in these installation instructions that is unclear, please contact the Building Department (803) 874-4201 for clarification.**

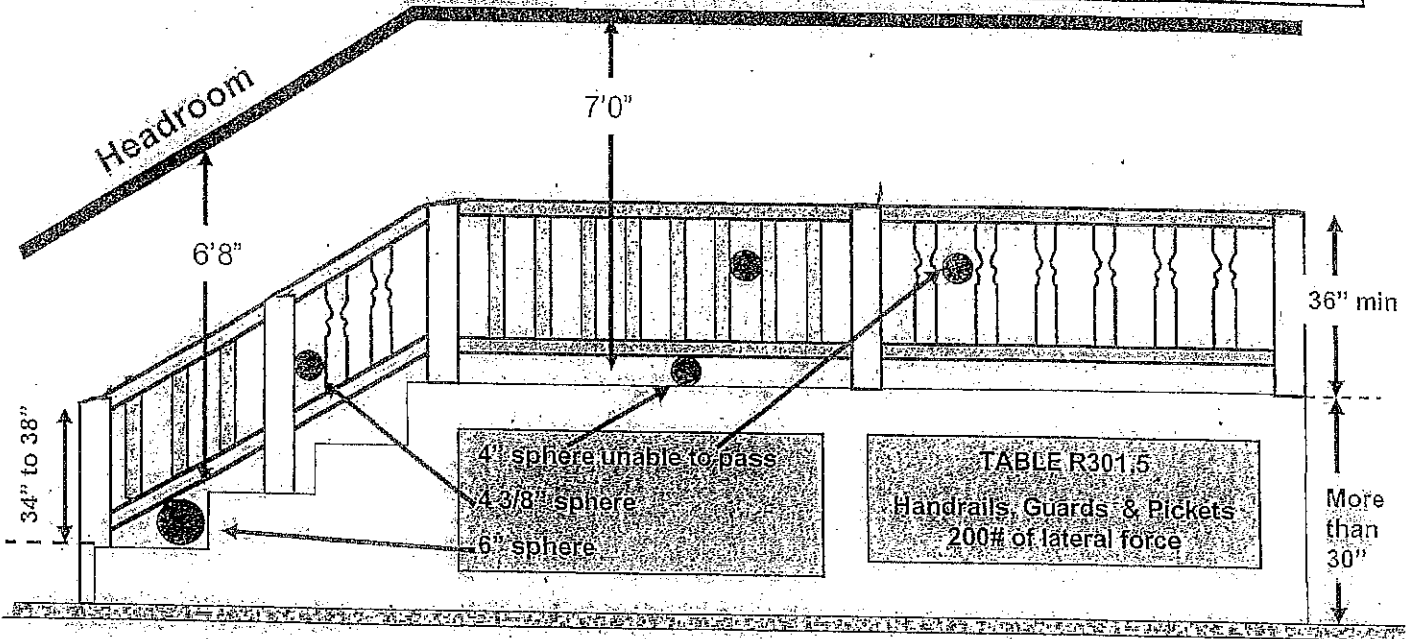
**** If there is anything regarding registration that is unclear, please contact the Assessors Office (803) 874-3613 for clarification.**



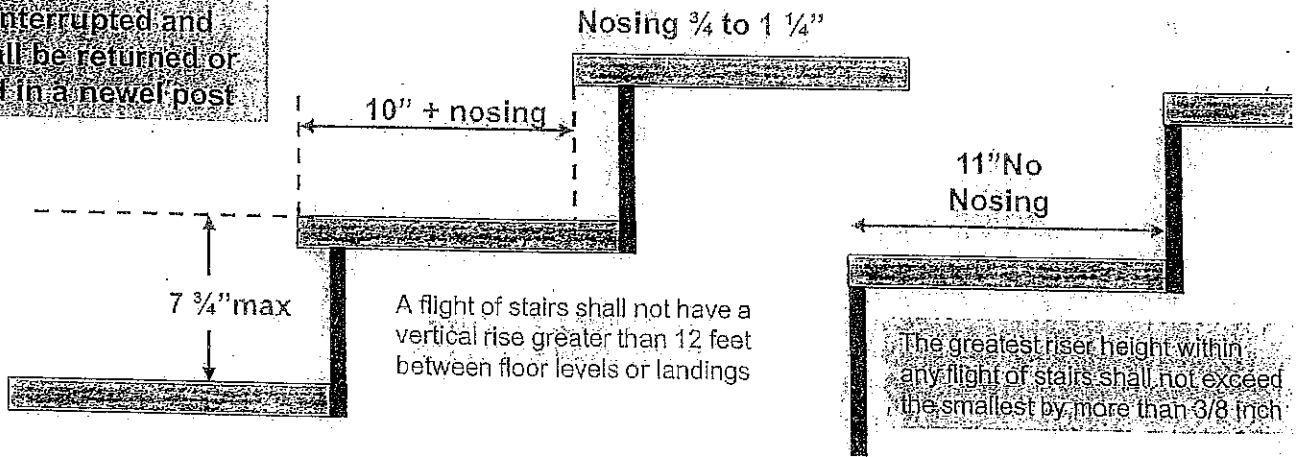
R-2 & R-3 Dwelling Stairs

Handrail = Assist up stairs
Required = 4 or more risers

Guards = Protect from falling off porches, ramps & stairs
Required = When more than 30" above grade



Handrails shall be uninterrupted and shall be returned or end in a newel post



Landings	
<p>Required Egress Door</p> <ul style="list-style-type: none"> ➤ Landing width of door and 36" deep ➤ Not more than 1.5 form threshold ➤ Walking surface of stairs and landing 1/48 	<p>Other Doors</p> <ul style="list-style-type: none"> ➤ Landing not required if not more than 2 risers ➤ 7 3/4" from threshold if storm, screen & sliding doors ➤ Landing not required at the top of interior stairs as long as door does not swing over steps

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OFFICE OF THE ASSESSOR

Courthouse Annex • Suite 107

St. Matthews, SC 29135

(803) 874-3613 • Fax: (803) 874-1242

REQUIREMENTS FOR MOBILE HOME REGISTRATION IN CALHOUN COUNTY

All mobile homes must begin registration procedures within 15 days of relocation or ownership change per SC 31-17-320. In order to make an application to register a mobile home with the Calhoun County Assessor's Office you MUST submit the following documentation:

-the Building and Planning Site Approval form for new installations or a "Manufactured Home Code Compliance Permit" for previously installed or existing units.

-the 911 address of the mobile home.

-PROOF OF OWNERSHIP!:

For NEW units from a dealer, the Form 500 and a copy of the financing agreement.

For USED units, along with the bill of sale (Form 500 or DMV Form 4031), and financing agreement, we must also have a copy of the title, OR the form 400 Application for Title as submitted to the DMV (with DMV receipt!) as proof of submission!

*(*IMPORTANT* DMV will not accept an application for title without either a Manufacturer's Statement of Origin (MSO) or a copy of the title made over to you from the previous owner!)*

-the moving permit (if coming from other than a M. H. dealer).

- Certification of Mobile Home Smoke Detectors

-\$5.00 for the registration fee.

After the mobile home license has been received, you must place the mobile home decal in a window where it may be seen from the road or driveway when approaching the mobile home. The decal must be properly displayed in order to pass the final inspection.

Should the mobile home be moved from its registered location or be sold to another owner, it must be re-registered with the County Assessor.

In order to see the complete requirements for mobile home installation in this county, the bulletin entitled "INSTALLING A MANUFACTURED HOME IN CALHOUN COUNTY" by the Calhoun County Building and Planning Office should be consulted. Any questions regarding the set-up and installation of a mobile home should be directed to the Calhoun County Building and Planning Office at 874-4201.

Certification of Mobile Home Smoke Detectors

Section 40-29-340. No person may sell or offer for sale a manufactured home manufactured after June 15, 1976, unless its components, systems, and appliances meet the criteria of compliance with the Construction and Safety Standards Act and have been properly certified by the Department of Housing and Urban Development. For the sale of a previously owned manufactured home, the buyer and seller shall sign a form certifying both persons have determined at least two functioning smoke detectors are in the home

I do hereby certify that there are at least two functioning smoke detectors in the mobile home

located at _____ City _____ State _____ Zip _____

Calhoun County TMS number _____

Buyer: _____

Buyer Signature: _____

Date: _____

Seller: _____

Seller Signature: _____

Date: _____

Sworn to and subscribed before me this _____ day of _____ 20__

Notary Public For:

M. J. [Name] Engineer